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Purpose: **Development application only (DA)**

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Project number

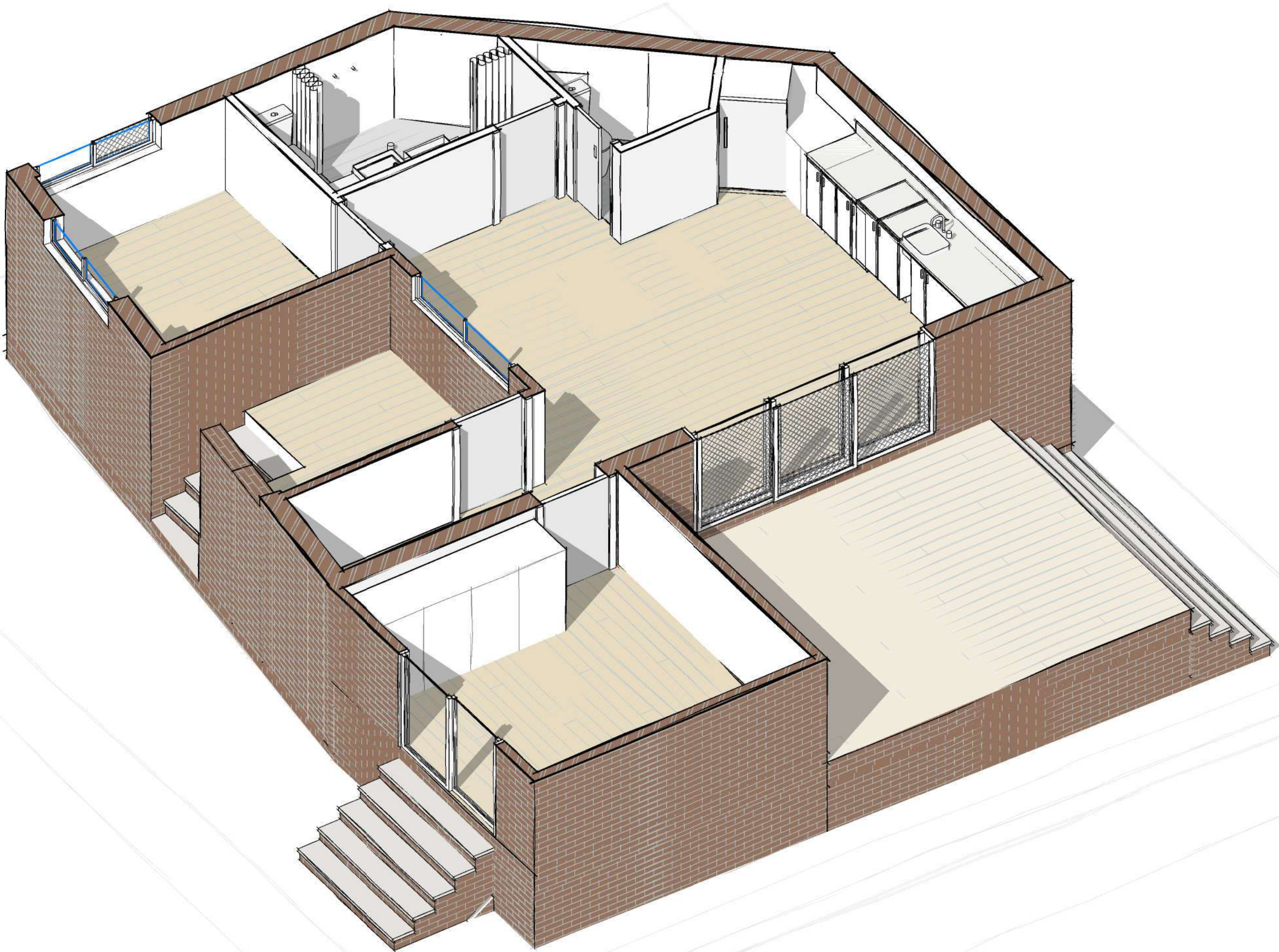
928885068

56 Bransgrove Rd, Revesby NSW 2212

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Internal axonometric

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							Sequence	Version	Issued	Date	VNdraft.com® One-stop & Best fee guarantee info@vndraft.com 0488880787	
Drawing	Internal axonometric						11	I	Update impervious area	22.02.21		
Address	56 Bransgrove Rd, Revesby NSW 2212						12	J	As council letter 22.04.26	22.05.16		
							13	K	As council letter 22.07.19	22.08.02		
Project	928885068	Client	Van	Sheet	02	Size	A3	14	L	Council request		

Building Code of Australia (BCA) compliance

General provisions
Part A6 Building classifications:
A6.1 Class 1 buildings
A Class 1 building includes one or more of the following sub-classifications:
(1) Class 1a is one or more buildings, which together form a single dwelling including the following:
(a) A detached house.
(b) One of a group of two or more attached dwellings, each being a building, separated by a *fire-resisting wall*, including a row house, terrace house, town house or villa unit.
(2) Class 1b is one or more buildings which together constitute—
(a) a boarding house, guest house, hostel or the like that—
(i) would ordinarily accommodate not more than 12 people; and
(ii) have a total area of all floors not more than 300 m2 (measured over the enclosing walls of the building or buildings); or
(b) four or more single dwellings located on one allotment and used for short-term holiday accommodation.
A6.10 Class 10 buildings and structures
A Class 10 building includes one or more of the following sub-classifications:
(1) Class 10a is a non-habitable building including a *private garage*, carport, shed or the like.
(2) Class 10b is a structure that is a fence, mast, antenna, retaining wall or free-standing wall or *swimming pool* or the like.
(3) Class 10c is a *private bushfire shelter*. See Figure 3.

Part 2.2 Damp and weatherproofing
Explanatory information:
Objective
O2.2
The Objective is to—
(a) safeguard occupants from illness or injury and protect the building from damage caused by—
(i) *surface water*; and
(ii) external moisture entering a building; and
(iii) the accumulation of internal moisture in a building; and
(iv) discharge of *swimming pool* waste water; and
(b) protect *other property* from damage caused by—
(i) redirected *surface water*; and
(ii) the discharge of *swimming pool* waste water.

Functional statements
F2.2.1 Surface water
A building including any associated *sitework* is to be constructed in a way that protects people and *other property* from the adverse effects of redirected *surface water*.
F2.2.2 Weatherproofing and dampness
A building is to be constructed to provide resistance to moisture from the outside and moisture rising from the ground.
Limitation:
F2.2.2 does not apply to a Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.
F2.2.3 Drainage from swimming pools
Adequate means for the disposal of *swimming pool* water and drainage is to be provided to a *swimming pool*.

Part 3.7.1 Fire properties for materials and construction
Automatic fire detection system to be provided in accordance with part.
Appropriate Performance Requirements
Where an alternative fire property for materials and construction is proposed as a *Performance Solution* to that described in Part 3.7.1, that proposal must comply with—
(a) *Performance Requirement* P2.3.1; and
(b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.7.1.1 General concession — non-combustible materials
The following materials, though *combustible* or containing *combustible* fibres, may be used wherever a *non-combustible* material is required in the *Housing Provisions*:
(a) Plasterboard.
(b) Perforated gypsum lath with a normal paper finish.
(c) Fibrous-plaster sheet.
(d) Fibre-reinforced cement sheeting.
(e) Pre-finished metal sheeting having a *combustible* surface finish not exceeding 1 mm thick and where the *Spread-of-Flame Index* of the product is not more than 0.
(f) *Sarking-type materials* that do not exceed 1 mm in thickness and have a *flammability index* not greater than 5.
(g) Bonded laminated materials where—
(i) each lamina, including any core, is *non-combustible*; and
(ii) each adhesive layer does not exceed 1 mm in thickness and the total thickness of the adhesive layers does not exceed 2 mm; and
(iii) the *Spread-of-Flame Index* and the *Smoke-Developed Index* of the bonded laminated material as a whole do not exceed 0 and 3 respectively.
3.7.1.2 Fire hazard properties
The fire hazard properties of materials used in a Class 1 building, including floor or ceiling spaces common with a Class 10 building, must comply with the following:
(a) *Sarking-type materials* used in the roof must have a *flammability index* not greater than 5.
(b) Flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS 4254.1.

Part 3.7.2 Fire separation of external walls
Appropriate Performance Requirements
Where an alternative fire separation design is proposed as a *Performance Solution* to that described in Part 3.7.2, that proposal must comply with—
(a) *Performance Requirement* P2.3.1; and
(b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.7.2.1 Application
Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.1 for fire separation.
3.7.2.2 External walls of Class 1 buildings
An *external wall* of a Class 1 building, and any openings in that wall, must comply with 3.7.2.4 if the wall is less than—
(a) 900 mm from an allotment boundary other than the boundary adjoining a road alignment or other public space; or
(b) 1.8 m from another building on the same allotment other than a Class 10 building associated with the Class 1 building or a detached part of the same Class 1 building.
3.7.2.3 Measurement of distances
(a) The distance from any point on an *external wall* of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or *external wall* of the other building which intersects that point without being obstructed by a wall complying with 3.7.2.4.
(b) Where a wall within a specified distance is *required* to comply with 3.7.2.4, only that part of the wall (including any openings) within the specified distance need be constructed in that manner. (see Figure 3.7.2.1, Figure 3.7.2.2a and Figure 3.7.2.2b)
(c) Where the distance measured is between attached or detached buildings of different heights, the distance must be taken from the *external wall* with the highest elevation measured at right angles to a point that intersects the nearest part of a vertical projection above the adjacent building, excluding any eave overhang (see Figure 3.7.2.2b).
3.7.2.4 Construction of external walls
(a) *External walls* (including gables) *required* to be *fire-resisting* (referred to in 3.7.2.2 or 3.7.2.5 must—
(i) commence at the footings or ground slab, except where the *external wall* commences above a *separating wall* complying with 3.7.3.2 (see Figure 3.7.2.2b); and
(ii) extend to—
(A) the underside of a *non-combustible* roof covering, except that a wall may terminate not more than 200 mm from the underside of a *non-combustible* roof covering, where the area between the *external wall* and underside of the roof covering is sealed with a *non-combustible* fascia, gutter or flashing; or
(B) the underside of a *non-combustible* eaves lining (See Figure 3.7.2.3); and
(iii) be constructed in accordance with (b).
(b) A wall *required* by (a) must—
(i) have an FRL of not less than 60/60/60 when tested from the outside; or
(ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90 mm thick; or
(iii) be of masonry construction not less than 90 mm thick.
(c) Openings in *external walls required* to be *fire-resisting* (referred to in 3.7.2.2 or 3.7.2.5) must be protected by—
(i) non-openable fire *windows* or other construction with an FRL of not less than /60/-; or
(ii) *self-closing* solid core doors not less than 35 mm thick.
(d) The requirements (c) do not apply to a *window* in a non-*habitable room* that is located adjacent to and not less than 600 mm from the boundary of an adjoining allotment or 1200 mm from another building on the same allotment provided that—
(i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2 m2; or
(ii) in a room other than one referred to in (i), the opening has an area of not more than 0.54 m2 and—
(A) the *window* is steel-framed, there are no opening sashes and it is glazed in wired glass; or
(B) the opening is enclosed with translucent hollow glass blocks.
(e) Subfloor vents, roof vents, weepholes, control joints, construction joints and penetrations for pipes, conduits and the like need not comply with (c).
3.7.2.5 Class 10a buildings
(a) A Class 1 building must be protected by a method in—
(i) Figure 3.7.2.4 where a Class 10a building is located between or adjacent to a Class 1 building and a boundary alignment that is not a boundary with a road alignment or other public space; or
(ii) Figure 3.7.2.5 where a Class 10a building is located between or adjacent to a Class 1 building it is associated with and another building on the same allotment; or
(iii) Figure 3.7.2.6 where two or more Class 10a buildings on the same allotment are located between and are associated with different Class 1 buildings.
(b) A Class 10a building must not significantly increase the risk of spread of fire between Class 2 to 9 buildings.

Part 3.7.3 Fire protection of separating walls and floors
Appropriate Performance Requirements
Where an alternative fire separation design is proposed as a *Performance Solution* to that described in Part 3.7.3, that proposal must comply with—
(a) *Performance Requirement* P2.3.1; and
(b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.7.3.1 Application
Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.1 for protection of separating walls and floors.
3.7.3.2 Separating walls
(a) A *separating wall* between Class 1 buildings, or a wall that separates a Class 1 building from a Class 10a building which is not associated with the Class 1 building must—
(i) have either—
(A) an FRL of not less than 60/60/60; or
(B) be of masonry construction not less than 90 mm thick; and
(ii) commence at the footings or ground slab (see Figure 3.7.3.1), except for horizontal projections to which 3.7.3.5 applies (see Figure 3.7.3.4); and
(iii) extend—
(A) if the building has a *non-combustible* roof covering, to the underside of the roof covering (see Figure 3.7.3.1 and Figure 3.7.3.2); or
(B) if the building has a *combustible* roof covering, to not less than 450 mm above the roof covering (see Figure 3.7.3.1); and
(iv) comply with (b) to (e) and 3.7.3.3 as applicable.

(b) A *separating wall* of *lightweight construction* must be tested in accordance with Specification C1.8 of the NCC Volume One.
(c) A *separating wall* complying with (a)(iii)(A)—
(i) must not be crossed by timber or other *combustible* building elements except for roof battens with dimensions of 75 x 50 mm or less, or roof sarking; and
(ii) must have any gap between the top of the wall and the underside of the roof covering packed with mineral fibre or other suitable *fire-resisting* material.
(d) Where a building has a masonry veneer *external wall*, any gap between the *separating wall* and the external masonry veneer must be—
(i) not more than 50 mm; and
(ii) packed with a mineral fibre or other suitable fire resistant material with the packing arranged to maintain any weatherproofing requirements of Part 3.3.4.
(e) Eaves, verandahs and similar spaces that are open to the roof space and are common to more than one Class 1 dwelling must be separated by a *non-combustible* vertical lining (see Figure 3.7.3.2 Diagram b).

Part 3.7.5 Smoke alarms and evacuation lighting
Appropriate Performance Requirements
Where an alternative smoke alarm or lighting to assist evacuation system is proposed as a *Performance Solution* to that described in Part 3.7.5, that proposal must comply with—
(a) *Performance Requirement* P2.3.2; and
(b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.7.5.1 Application
(a) Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.2 for smoke alarms.
(b) For the purposes of this Part, a Class 1 building includes a Class 10a *private garage* located above or below the Class 1 building.
3.7.5.2 Smoke alarm requirements
Smoke alarms must—
(a) be located in—
(i) Class 1a buildings in accordance with 3.7.5.3 and 3.7.5.5; and
(ii) Class 1b buildings in accordance with 3.7.5.4 and 3.7.5.5.
(b) comply with AS 3786, except that in a Class 10a *private garage* where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
(c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and
(d) be interconnected where there is more than one alarm.

Part 3.8.1 Wet areas and external waterproofing
Wet areas within the building must comply with the requirements of part
Appropriate Performance Requirements
(a) Where an alternative system for external *waterproofing* a roof or external wall of a building is proposed as a *Performance Solution* to that described in Part 3.8.1, that proposal must comply with—
(i) *Performance Requirement* P2.2.2; and
(ii) the relevant *Performance Requirements* determined in accordance with A2.4(3).
(b) Where an alternative system for protecting *wet areas* in a building is proposed as a *Performance Solution* to that described in Part 3.8.1, that proposal must comply with—
(i) *Performance Requirement* P2.4.1; and
(ii) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.8.1.1 Application
Compliance with this acceptable construction practice satisfies *Performance Requirements* P2.2.2 for external *waterproofing* and P2.4.1 for *wet areas*.
3.8.1.2 Wet Areas
Building elements in *wet areas* within a building must—
(a) be *waterproof* or *water resistant* in accordance with Table 3.8.1.1; and
(b) comply with AS 3740.

Part 3.8.6 Sound insulation
Appropriate Performance Requirements
Where an alternative sound insulation system is proposed as a *Performance Solution* to that described in Part 3.8.6, that proposal must comply with—
(a) *Performance Requirement* P2.4.6; and
(b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.
3.8.6.1 Application
Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.4.6 for sound insulation.
3.8.6.2 Sound insulation requirements
(a) A *separating wall* between Class 1 buildings, or a wall that separates a Class 1 building from a Class 10a building which is not associated with the Class 1 building must—
(i) have an Rw + Ctr (airborne) not less than 50; and
(ii) be of *discontinuous construction* if it separates a bathroom, *sanitary compartment*, laundry or kitchen in one Class 1 building from a *habitable room* (other than a kitchen) in an adjoining Class 1 building (see Figure 3.8.6.1).
(b) For the purposes of (a)(ii), *discontinuous construction* means a wall system that has two separate leaves and that is not a staggered stud wall, that complies with the following:
(i) The wall has a minimum 20 mm cavity between leaves.
(ii) For masonry walls, where wall ties are *required* to connect leaves, the ties are of the resilient type.
(iii) For walls other than masonry, there is no mechanical linkage between leaves except at the periphery.
(c) A wall *required* to have sound insulation must continue to—
(i) the underside of the roof above; or
(ii) a ceiling that provides the sound insulation *required* for the wall.

Part 3.9: Safe movement and access
The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 general requirements.

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Drawing	BCA compliance				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	03 Size A3

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Alterations and Additions

Certificate number: A436622_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A436622_03 lodged with the consent authority or certifier on 08 Apr 2022 with application PAN-250541.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Wednesday, 10, August 2022

To be valid, this certificate must be lodged within 3 months of the date of issue..



Project address	
Project name	928885068 Romeo 56 Bransgrove Rd_04
Street address	56 Bransgrove Road Revesby 2212
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan 16675
Lot number	10
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	VNdraft PTY LTD
ABN (if applicable):	87625554252

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: cavity brick	nil		
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame. (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
D02	N	3.69	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W03	N	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W04	E	1.8	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W05	E	0.36	0	0	none	U-value: 7.63, SHGC: 0.75) standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W09	SE	0.36	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W08	SE	0.36	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W07	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	W	6.3	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	W	1.08	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	N	0.68	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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Drawing	BASIX certificate				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	04
				Size	A3

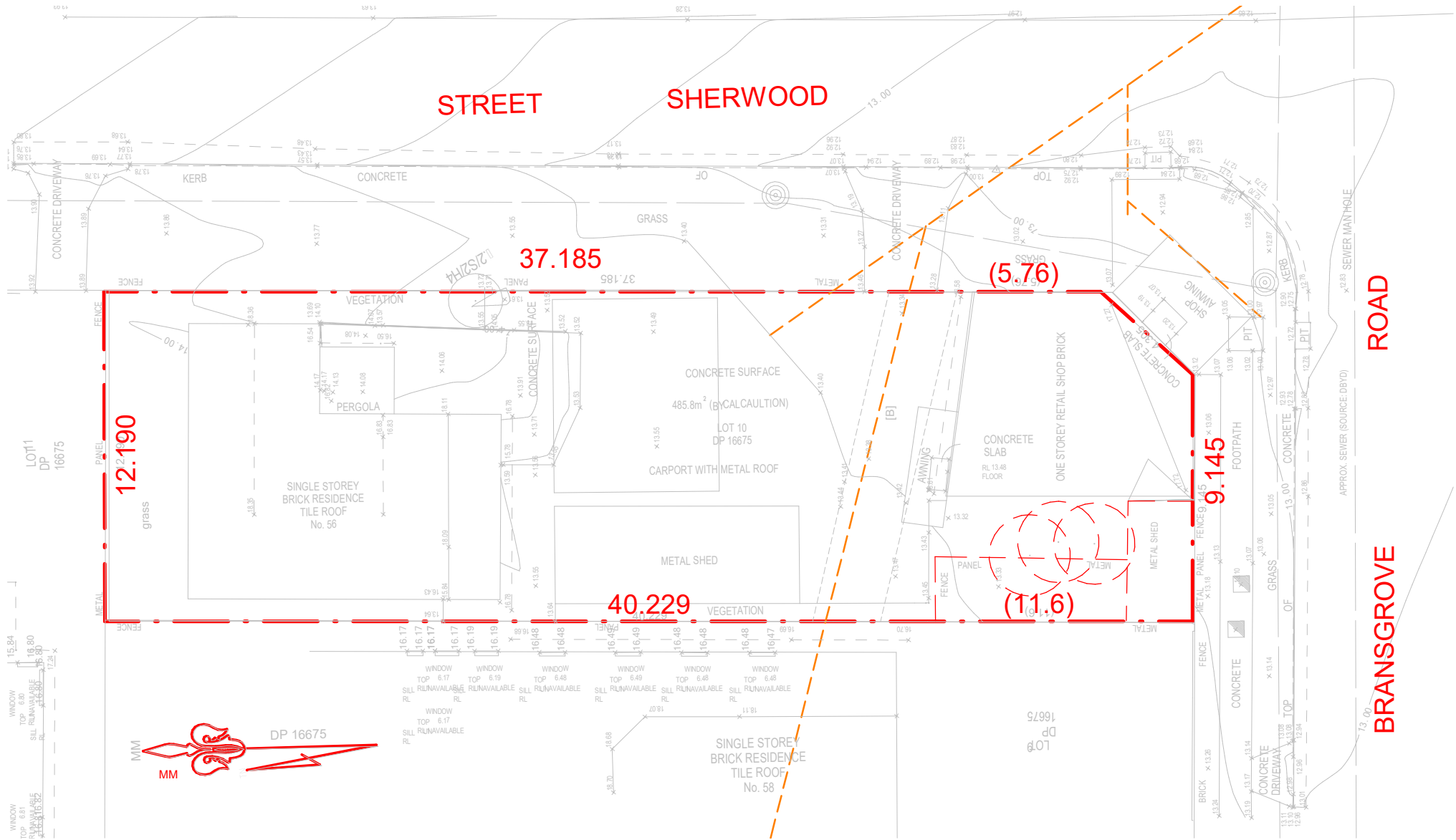
Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Demolition plan

0 10000
Scale: 1 : 200

	Boundary line
	To be demolished

Legend

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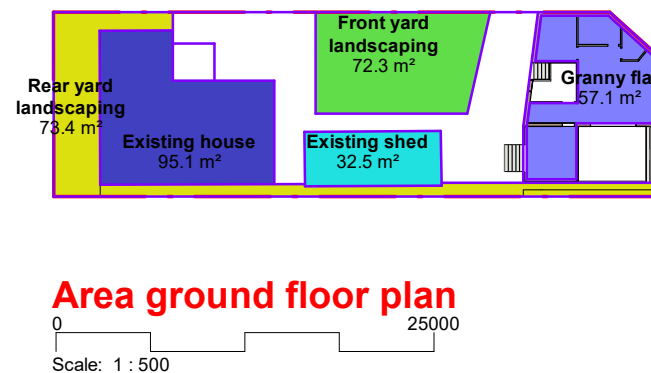
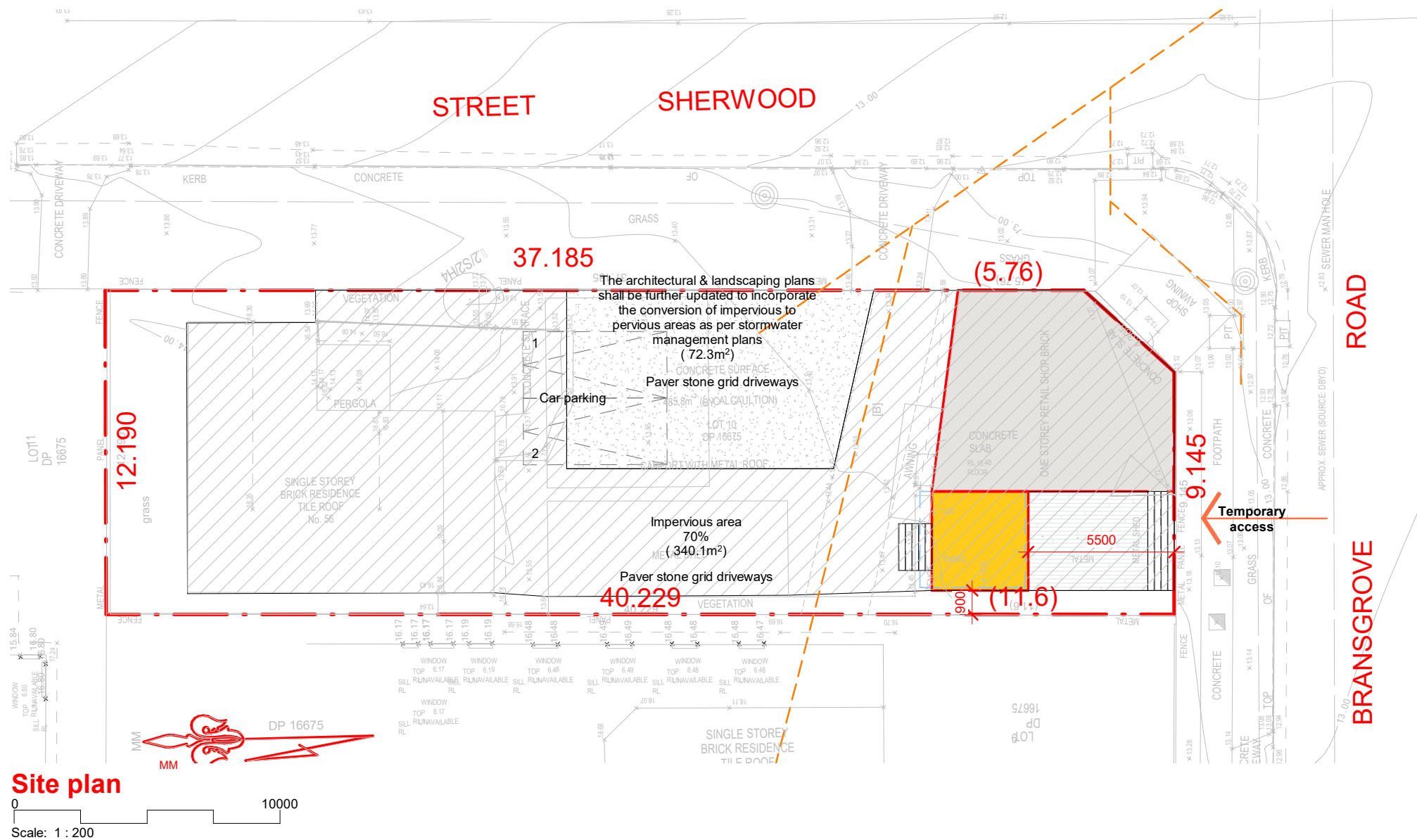
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Drawing	Demolition plan				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	05
				Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date	
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Location plan

Development approval compliance

Condition		Existing	Proposed
Site area	n/a	485.8 m²	n/a
Existing house	n/a	95.1m²	n/a
Existing shed	n/a	96.3 m²	32.5 m²
Granny flat	n/a	n/a	57.1 m²
Roof area	n/a	n/a	64 m²
Gross floor area	Garage GFA excludes 1 car parking space (18m²) Excludes: Basements, Storage, Vehicle access, Terraces & Balconies with outer walls <1.4m high and Voids	n/a	152.2m²
Floor space ratio	Garage GFA excludes 1 car parking space (18m²) Excludes: Basements, Storage, Vehicle access, Terraces & Balconies with outer walls <1.4m high and Voids	n/a	31.3%
Site coverage	Existing house, Granny flat, Shed	n/a	38.6%
Street setback	n/a	Refer to site plan	Refer to site plan
Rear setback	n/a	Refer to site plan	Refer to site plan
Side setback	0.9m up to 4.5m	Refer to site plan	Refer to site plan
Impervious area	Areas covered by concrete	70%	70%
Absorbent area	Areas not covered by concrete	30%	30%



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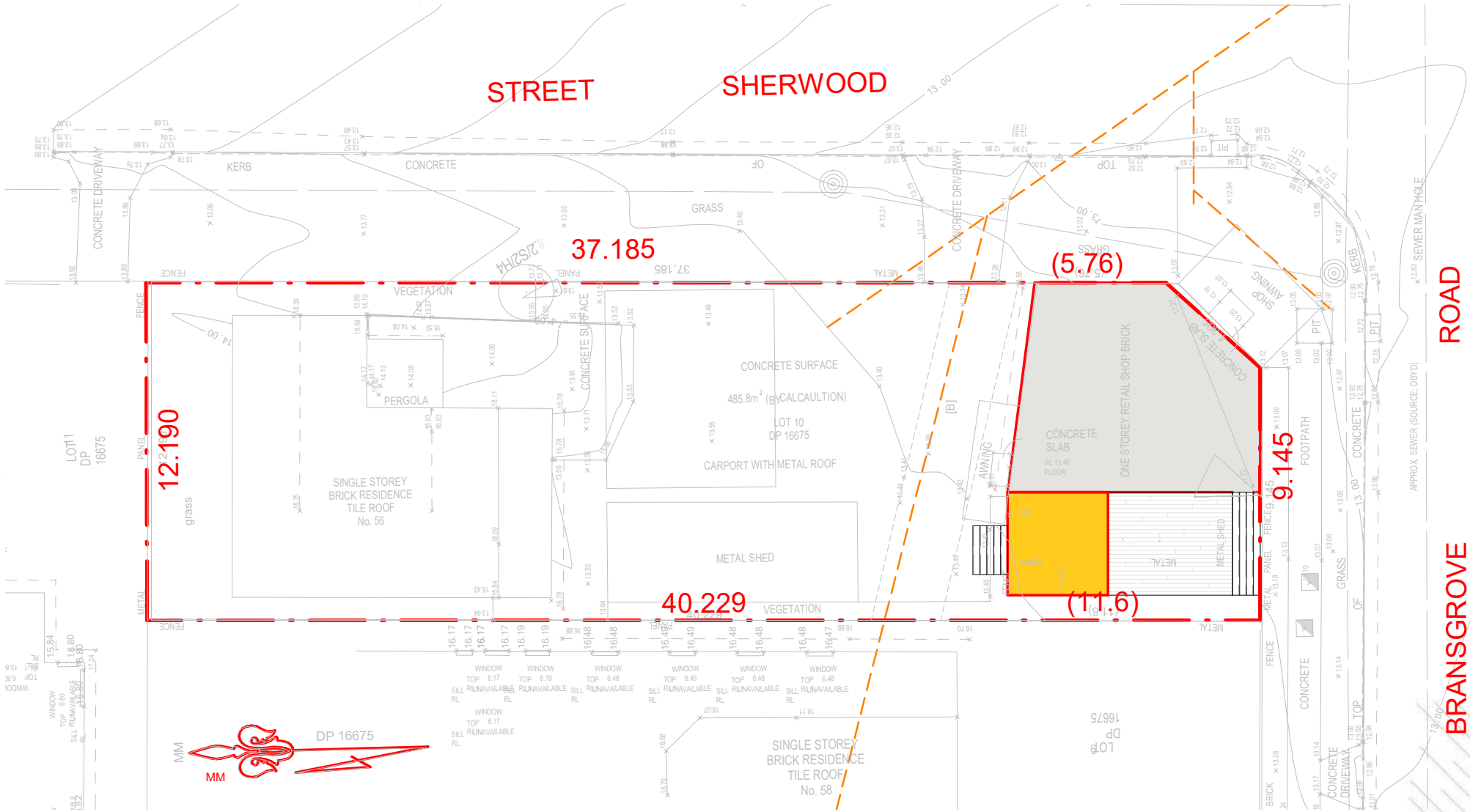
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Sequence	Version	Issued
11	I	Update impervious area
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Date
22.02.21
22.05.16
22.08.02
22.09.08

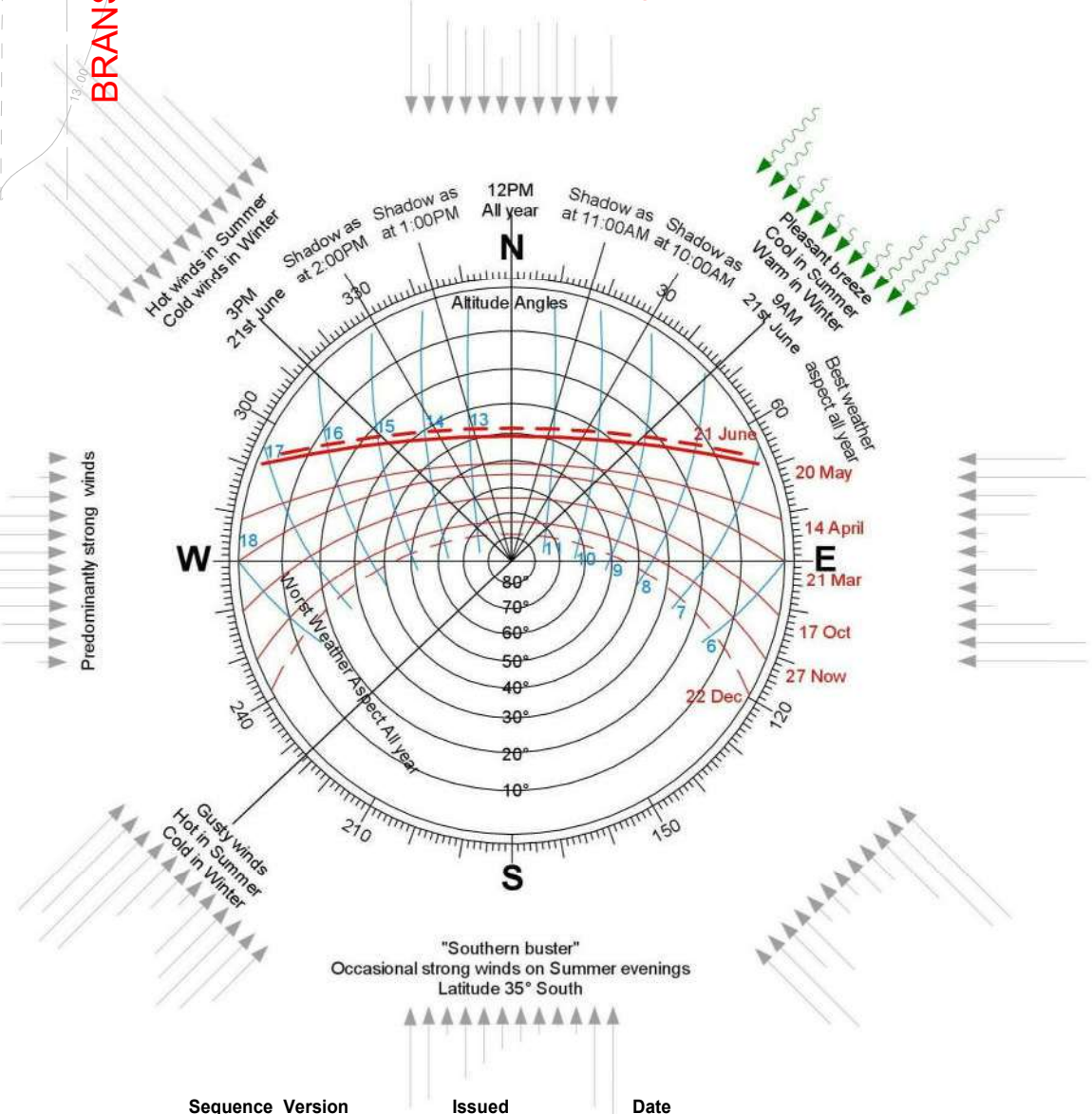
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Site analysis legend

- Wind direction
- Boundary line
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

Climatic site analysis



Site analysis plan

Scale: 1 : 200

Note

- The wind rose shown corresponds with the 12 months in the year
- The lines are read in a clockwise direction
- The length of the line is proportionate to the frequency (% of time) of the wind from that direction in that month
- 9am shown in black & 1pm shown in red
- The sun path diagram shown in the centre of the wind rose indicates the path scribed by the sun during different periods of the year
- The hours of the day are shown in blue
- The months of the year are indicated using the red lines
- The concentric circles indicate the angles of the sun
- The Compass is based upon 'True North', from the Map Grid Australia (MGA)
- True North based on survey completed by "surveyor" surveying "date" comments are for Sydney Basin

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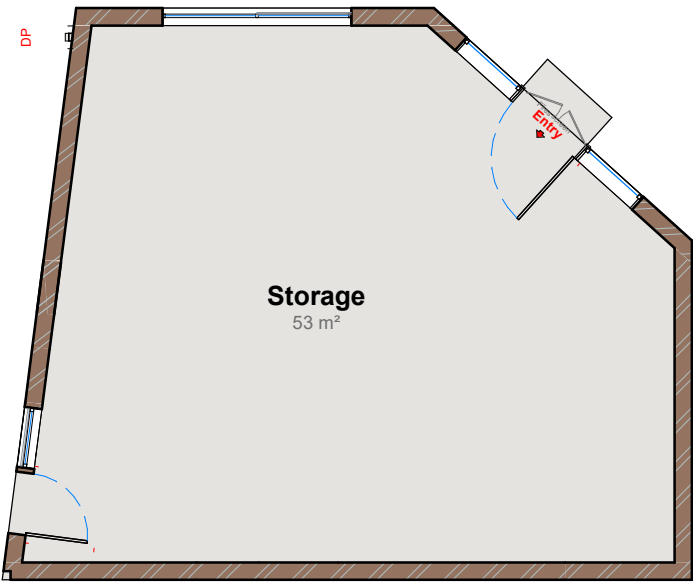
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Drawing	Site analysis plan
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	07
Size	A3

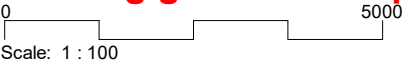
Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Existing ground floor plan



Existing works legend

Stud timber	
Framed (weatherboard/fibro/metal clad)	
Concrete block/plasterboard	
Concrete block/plasterboard	
Structure panel system	
Single cavity brick	
Double cavity brick	
Brick veneer	
Fireproof	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
Roof/skylight/structure above	

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Drawing	Existing ground floor plan				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	08
Size	A3				

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
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22.08.02
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Materials legend

Double cavity brick	
Stud timber	
Single cavity brick	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	
Existing colourbond roof	
New colourbond roof	

Annotate legend

Sliding window	SLW
Highlight window	SL-HLW
Sliding	SL
Single swing	SW
Double swing	DS
Floor waste	FW
Exhaust fan	EF
Smoke detector	SD
To be demolished	---
D : Door	D 1
W : Width	W ...
W : Window	H : Height
H : Height	H ...
Slope	0°
Downpipe	DP
Walls/floors below	---
Roof/skylight/structure above	---

Room schedule

Name	Area
Bath/L'dry	5 m²
Bed 1	8 m²
Bed 2	12 m²
Deck	7 m²
Deck	20 m²
Kitchen/Dining	10 m²
Living	19 m²
WC	2 m²
Grand total	84 m²

Existing/Demolish/Proposed Ground floor plan



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Drawing	Demolish/Proposed Ground floor plan
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	09
Size	A3




Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

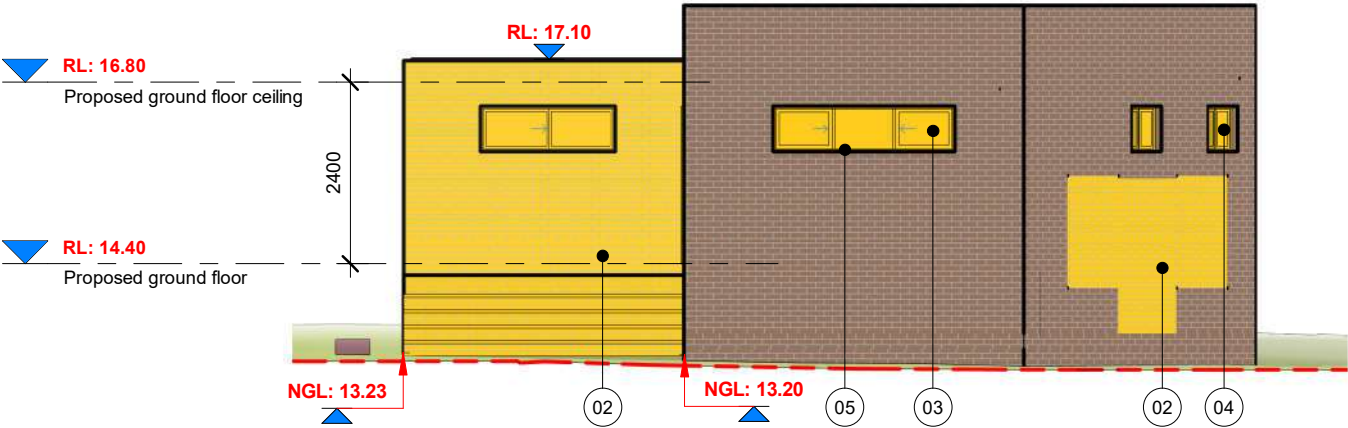
Date
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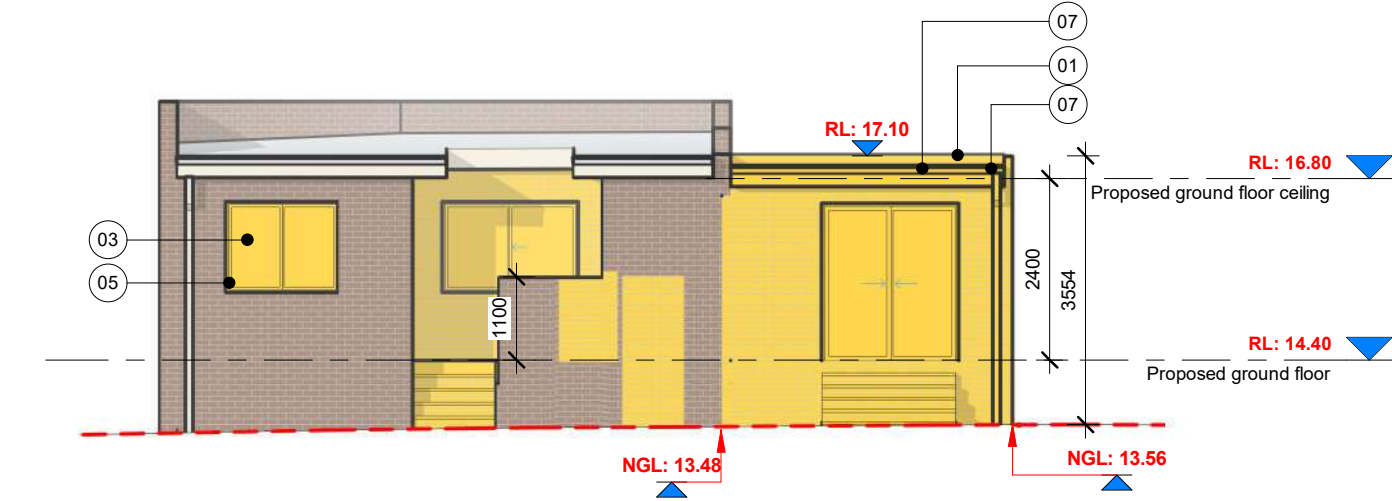
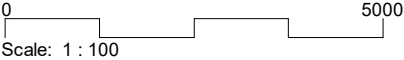


Exterior finishes schedule

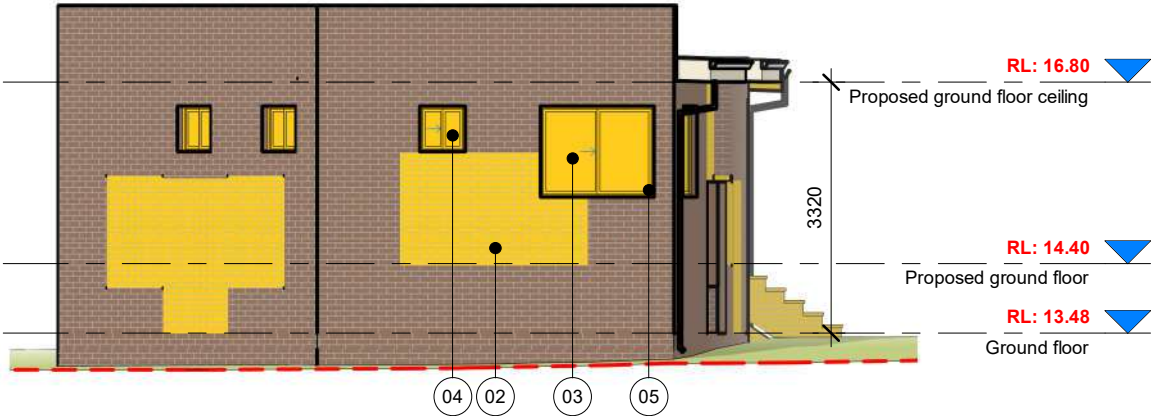
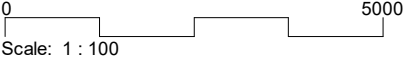
Images	Material	Description
	01	Colorbond tange as selected by owner/or similar material image
	02	Pgh balckheath, facebrick/or similar material image
	03	Glass window, door,skylight, railing/or similar material image
	04	Frosted glass WC, bath window/or similar material image
	05	Aluminium, cool gray/or similar material image
	06	Spm, translucent/or similar material image
	07	Aluminium, cool gray/or similar material image



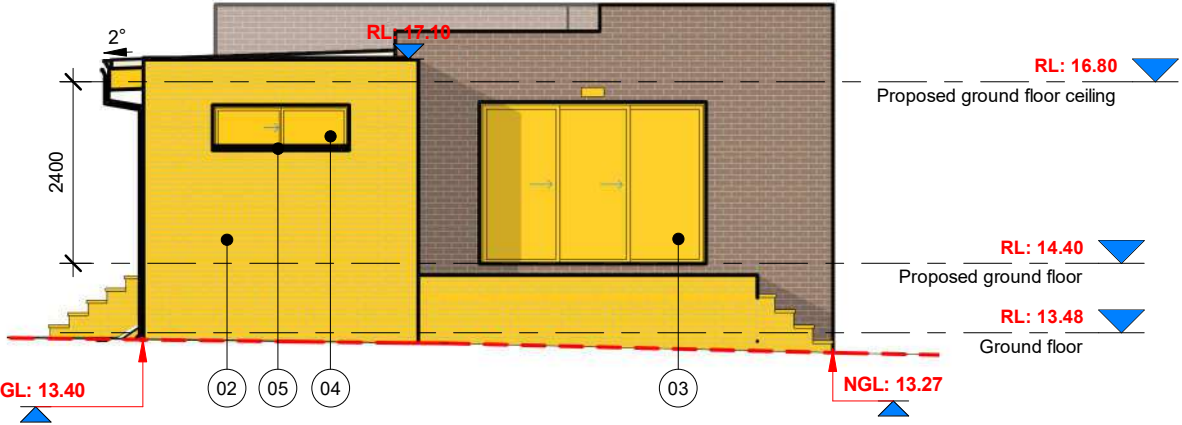
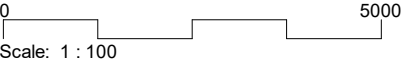
Street elevation



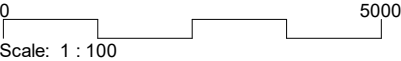
Rear elevation



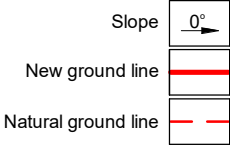
Side elevation 1



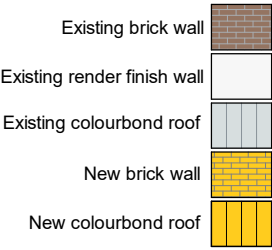
Side elevation 2



Annotate legend



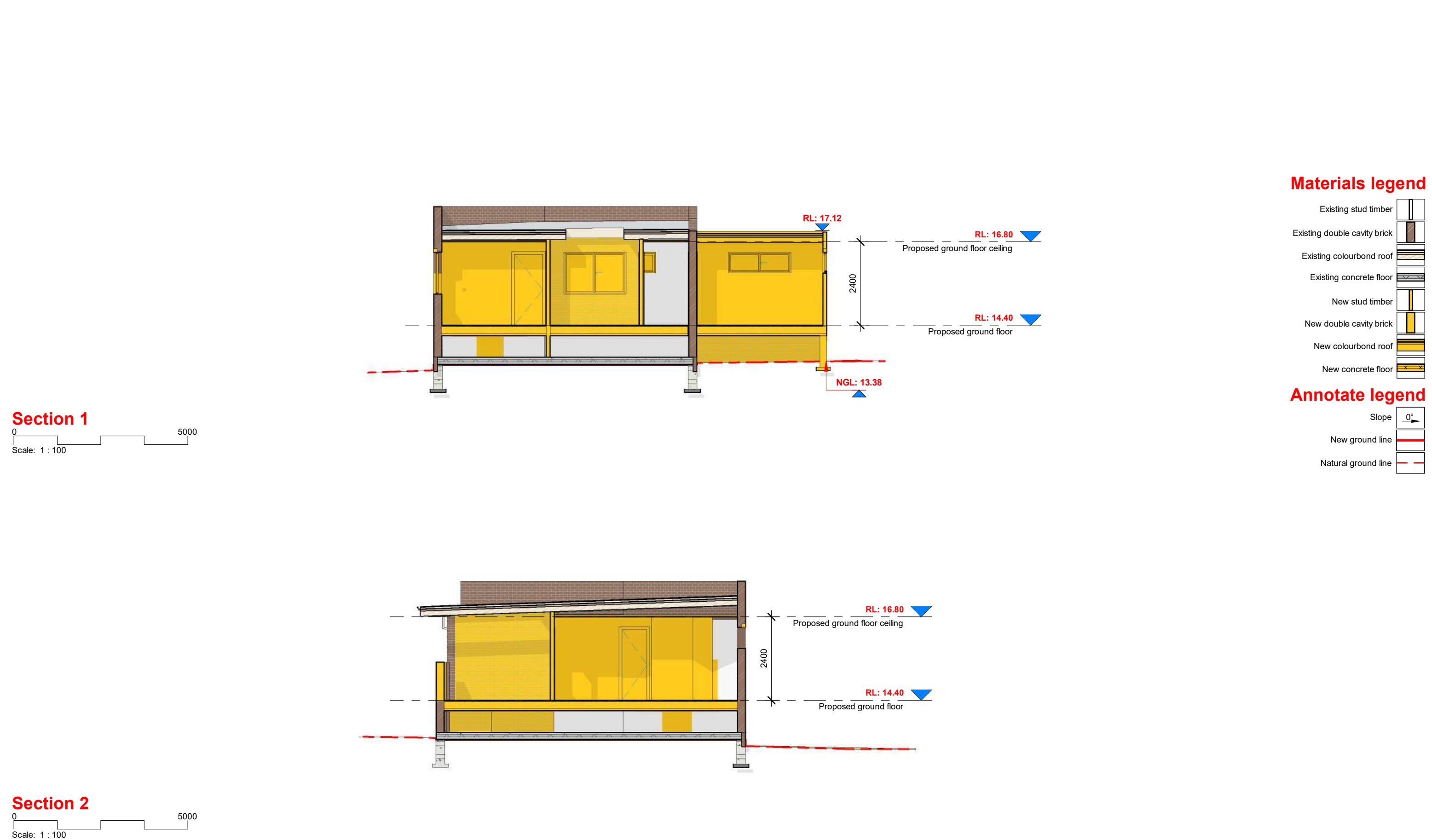
Materials legend



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Drawing				Sequence	Version	Issued	Date
Front elevation & Rear elevation				11	I	Update impervious area	22.02.21
Address 56 Bransgrove Rd, Revesby NSW 2212				12	J	As council letter 22.04.26	22.05.16
Project 928885068				13	K	As council letter 22.07.19	22.08.02
Client Van				14	L	Council request	22.09.08
Sheet	10	Size	A3	info@vndraft.com 0488880787			




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Drawing		Section/s		Sequence	Version	Issued	Date
				11	I	Update impervious area	22.02.21
				12	J	As council letter 22.04.26	22.05.16
				13	K	As council letter 22.07.19	22.08.02
				14	L	Council request	22.09.08
Address		56 Bransgrove Rd, Revesby NSW 2212					
Project	928885068	Client	Van	Sheet	11	Size	A3

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Window schedule

Mark	Height	Width	Sill Height	Legend	Operating type	Frame	Glass type
01	600	1800	1500	SL-HLW	Sliding (louvre/blind)	Aluminum	Single glazed, clear
02	1200	1800	900	SLW	Sliding	Aluminum	Single glazed, clear
03	1200	1500	900	SLW	Sliding	Aluminum	Single pyrolytic low-e
04	1200	1500	900	SLW	Sliding (louvre/blind)	Aluminum	Single glazed, clear
05	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint
06	600	1800	1500	SL-HLW	Sliding	Aluminum	Single glazed, clear
07	600	2400	1500	SLW	Sliding	Aluminum	Single glazed, clear
08	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint
09	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint

Grand total: 9

Door schedule

Mark	Height	Width	Operating type	Frame	Glass type
Exterior					
01	2100	3000	Sliding (louvre/blind)	Aluminium/uPVC/Fiberglass	Single glazed, clear
02	2040	1810	Sliding	Aluminium/uPVC/Fiberglass	Single pyrolytic low-e
Interior					
03	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
04	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
06	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
07	2040	720	Sliding	Timber/uPVC/Fiberglass	n/a

Grand total: 7

Operating type

Operating type	Ventilation potential	Air infiltration	Frame fraction
Hinged/ projected	High	Medium	High
Sliding	Medium	High	Medium
Fixed	None	Low	Low

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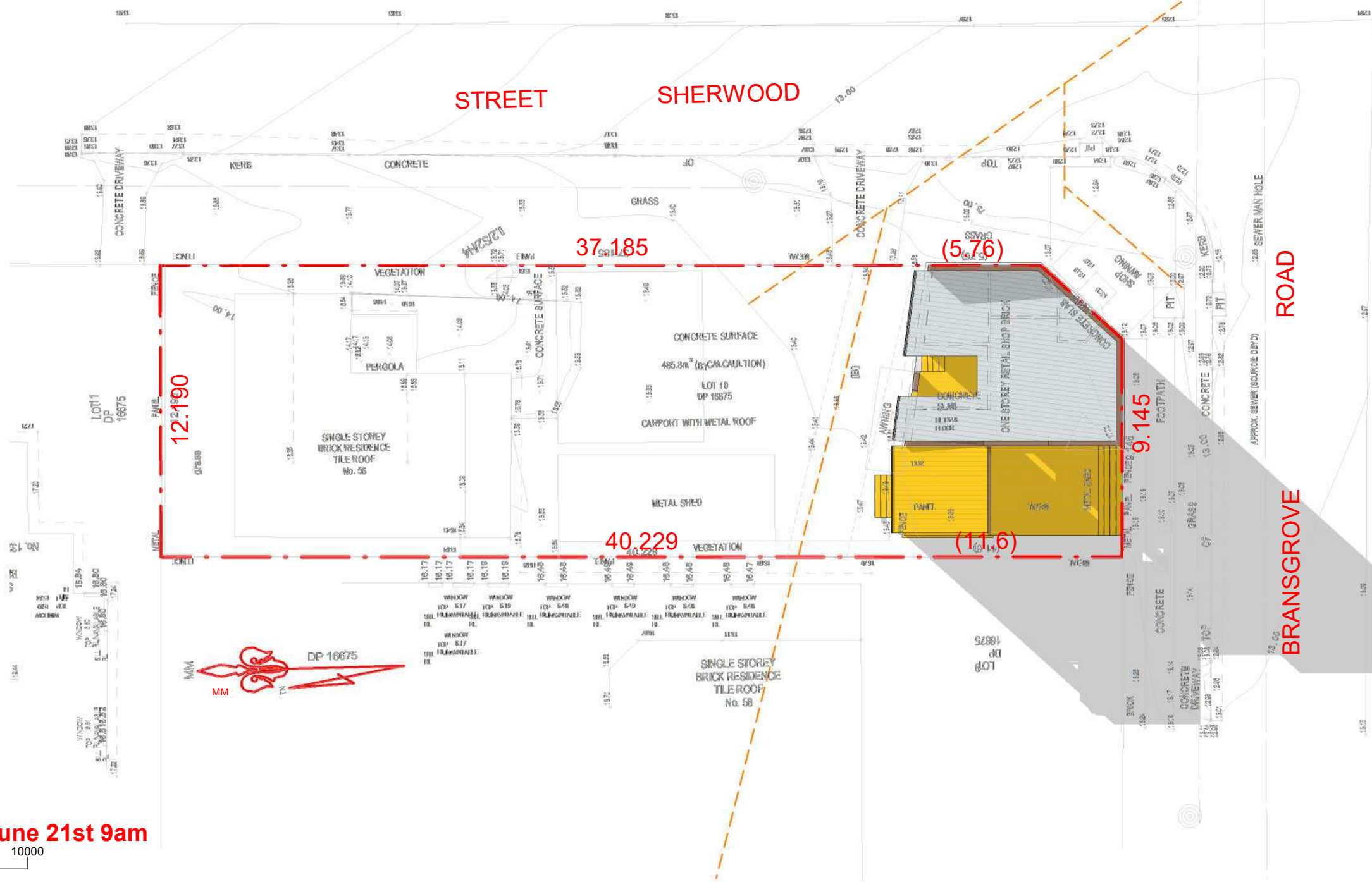
Drawing	Doors & Windows schedule				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	12 Size A3

Sequence	Version	Issued
11	I	Update impervious area
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22.08.02
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Shadow diagram June 21st 9am

0 10000

Scale: 1 : 200

Solar detailed compliance table

Min 3 hours sunlight @ 50% of POS area, Winter solstice on June 21st									
Unit	Min.open space	9 am	10 am	11 am	12 pm	1 pm	2 pm	3 pm	Sunlight average
1	40.00 sqm	100%	100%	66.20%	43.05%	0.00%	0.00%	6.87%	45.16%
2	40.00 sqm	59.57%	15.97%	0.00%	32.55%	20.60%	62.00%	99.20%	41.41%
3	40.00 sqm	10.05%	19.75%	28.62%	43.17%	61.80%	95.57%	100%	47.19%
4	40.00 sqm	59.57%	23.55%	21.20%	31.82%	4.57%	0.00%	8.82%	20.73%
5	40.00 sqm	100%	100%	100%	84.90%	6.00%	0.00%	0.00%	55.84%

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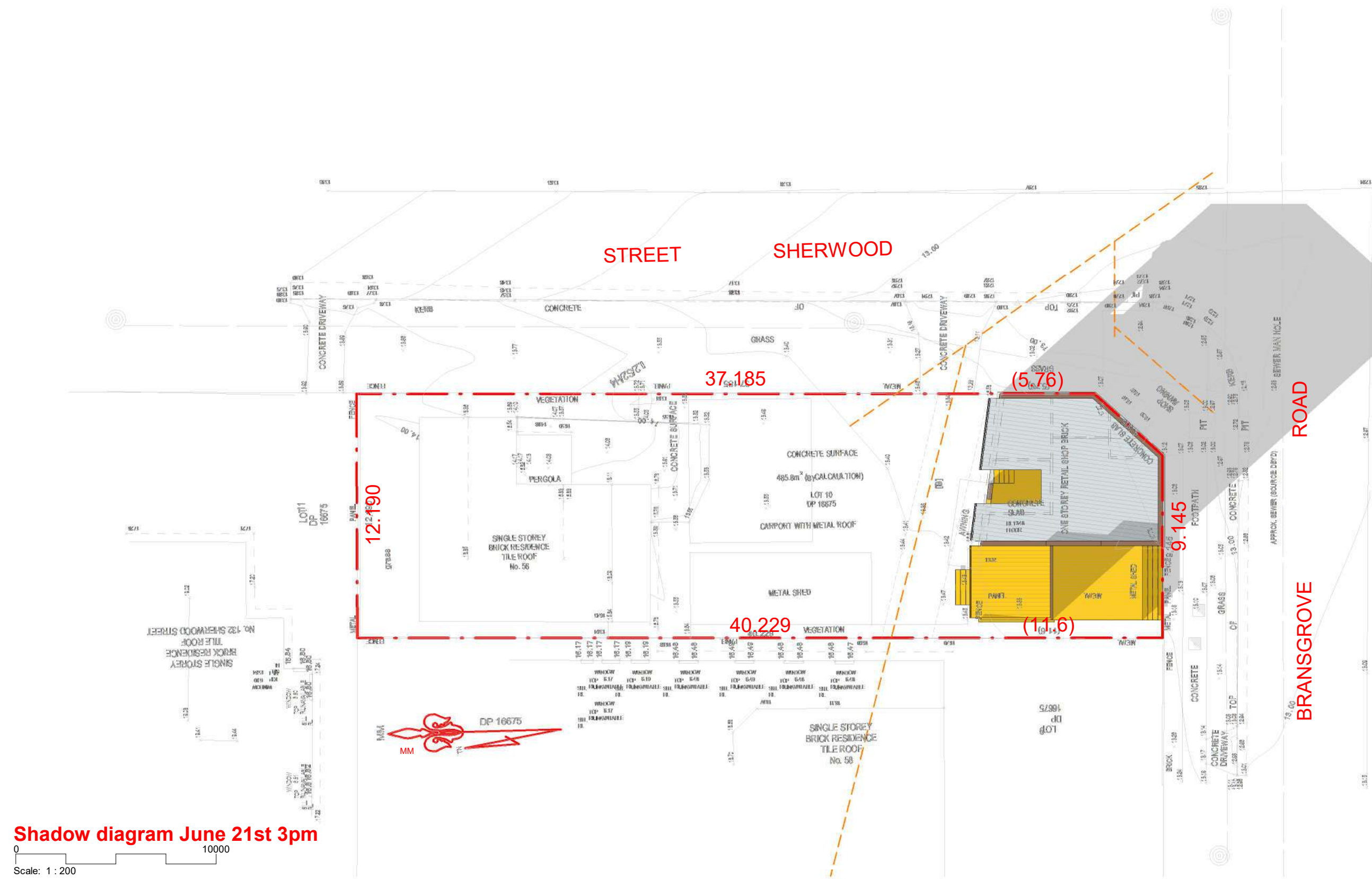
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Drawing	Shadow diagram June 21st 9am				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	13
				Size	A3

Sequence	Version	Issued
11	I	Update impervious area
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Drawing	Shadow diagram June 21st 3pm				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	15
Size	A3				

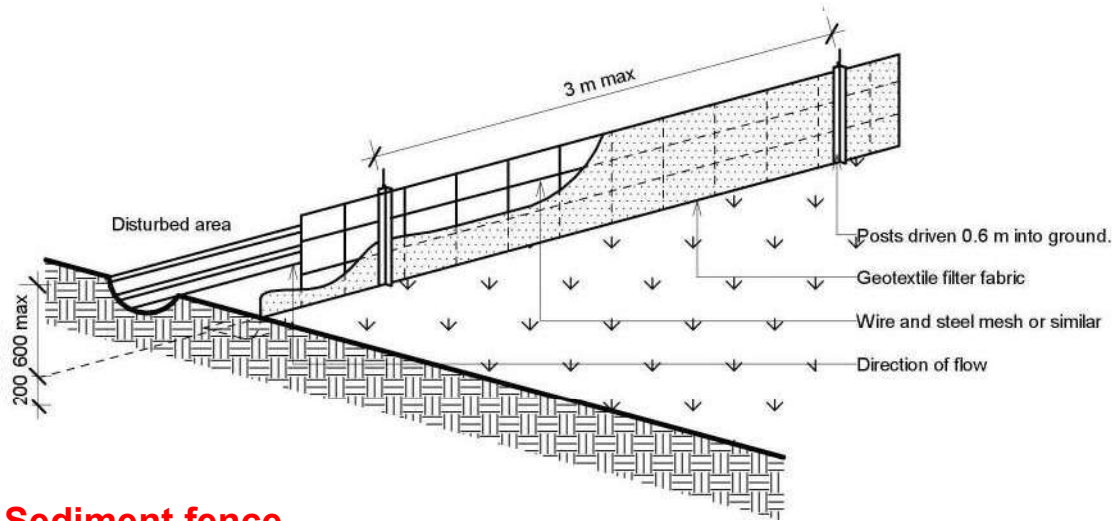
Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date	
22.02.21	
22.05.16	
22.08.02	
22.09.08	

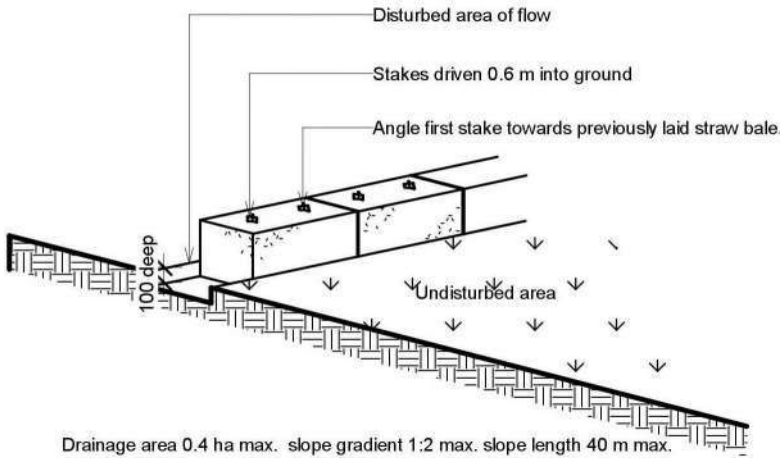
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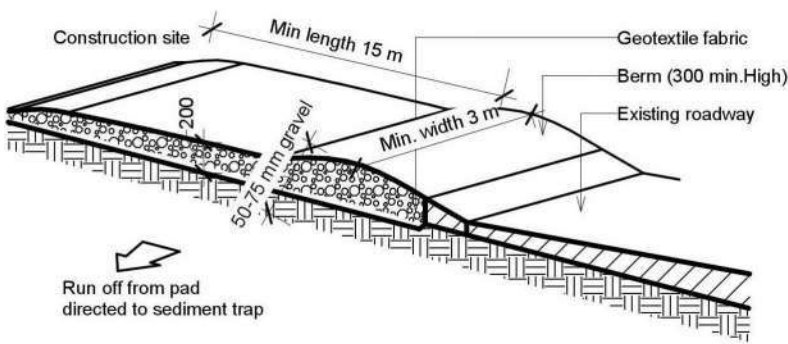




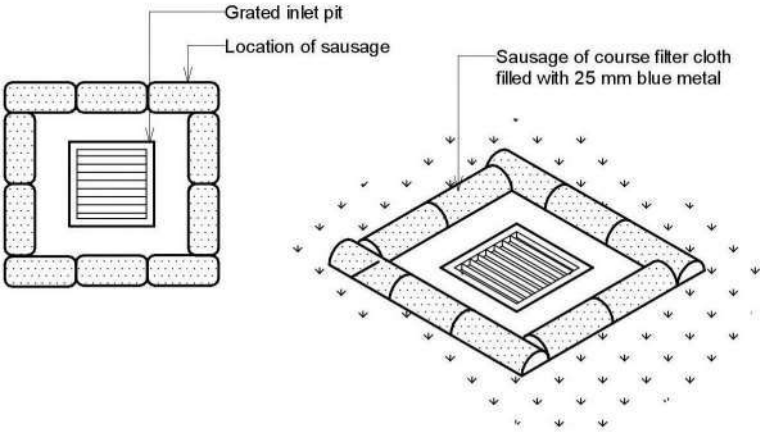
Sediment fence



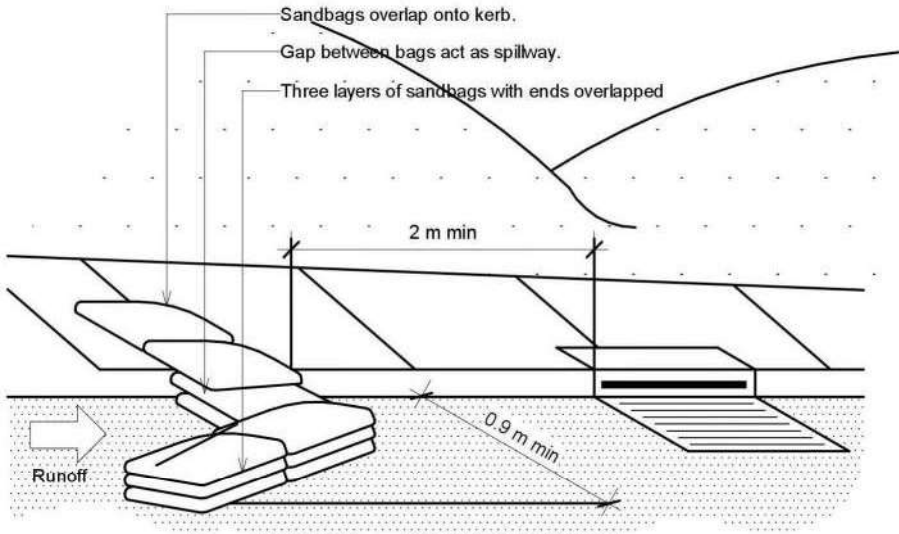
Straw bale sediment filter



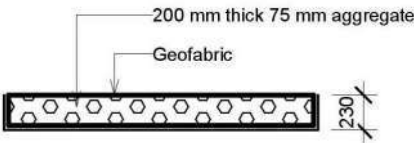
Geofabric lined silt fence (Structure type A)



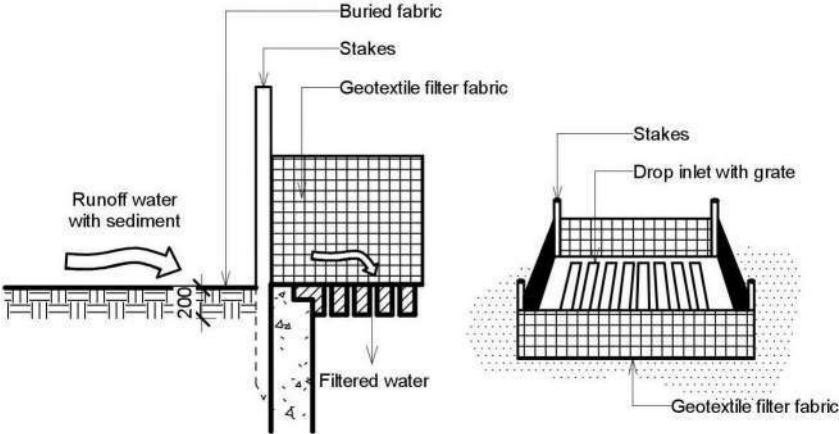
Location of sausage



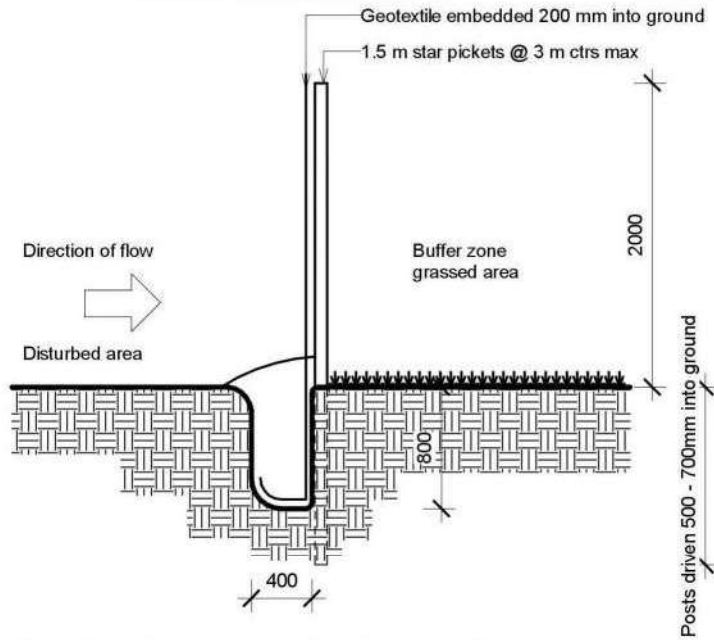
Sandbag kerb inlet sediment trap



Detail of stabilised site access




Geotextile filter fabric drop inlet sediment trap

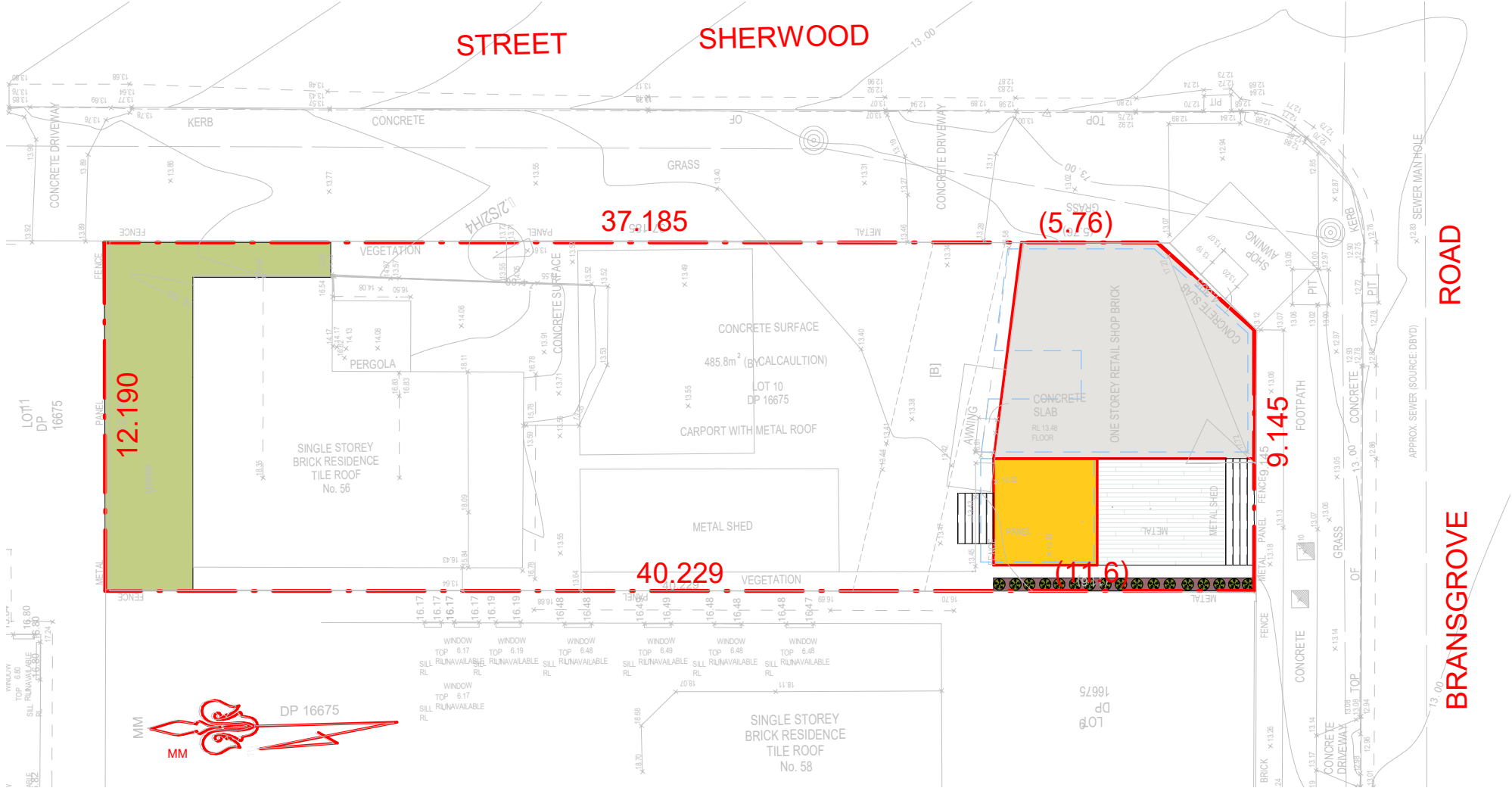


Geofabric lined silt fence (Structure type A)

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Drawing	Erosion & Sediment control							11	I	Update impervious area	22.02.21		
Address	56 Bransgrove Rd, Revesby NSW 2212							12	J	As council letter 22.04.26	22.05.16		
								13	K	As council letter 22.07.19	22.08.02		
Project	928885068	Client	Van	Sheet	17	Size	A3	14	L	Council request	22.09.08		



Landscaping legend

- Turf
- Woodchips
- Stencilled concrete finish
- Boundary line
- Brick garden edging
- Existing tree to remain
- Existing tree to be removed
- Roof/skylight/structure above
- Project envelope/footprint

Planting legend

- Groundcovers
- Yellow buttons

Landscaping plan

0 10000
Scale: 1 : 200

Planting schedule

Pictures	Scale	Common name	Latin name	Count	Description	Sun/Shade tolerance	Frost tolerance	Soil type(s)	Plant origin
Groundcovers									
		Japanese shore juniper	Juniperus conferta prostrate	17	Evergreen dense branching groundcover (0.3m x 2.5m) from Japan. Green needle-like 'conifer' leaves with a bluish tinge. Small berry like cones. Useful in groups for covering a slope or bank. Wind and salt spray tolerant. Frost and drought tolerant.	Full Sun, Part Shade	Frost hardy	Sand, Clay, Loam	Non indigenous (Japan)

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Drawing	Landscape plan				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	18 Size A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

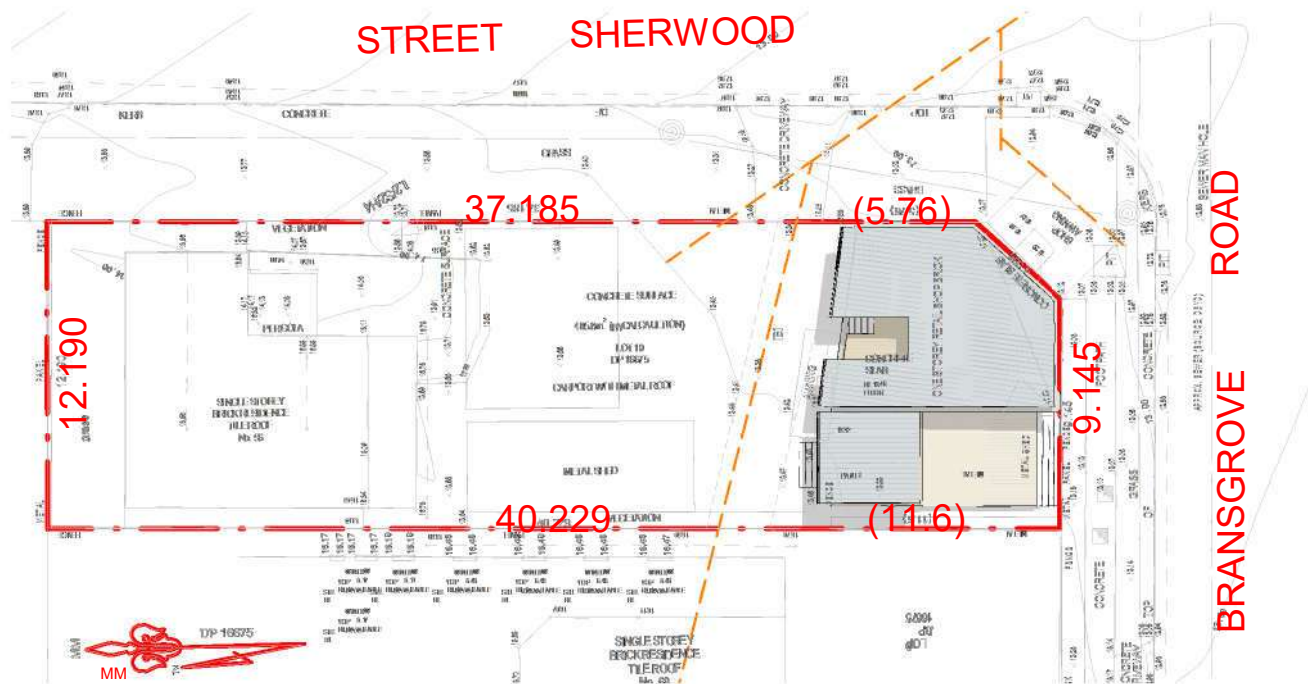
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Site plan



Overview axonometric

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Street elevation



Rear elevation



Side elevation 1



Side elevation 2

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Drawing	Neighbour Notification Plan				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	20
				Size	A4

Sequence	Version	Issued
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
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